



Chintamanis
JEWEL OF THE GODS

AN ADDRESS OF LIFE

THE BRIGHTEST JEWEL ON DWARKA EXPRESSWAY

Dwarka Expressway is sparkling with opportunity and Chintamanis shines at its heart.

A place where your dreams stretch wide and your future grows strong.

Every home welcomes you with spacious warmth and thoughtful design, crafted to celebrate life's finest moments. Connected effortlessly to the city's energy, surrounded by peace and comfort. Here, every day brings new reasons to smile, thrive and belong. This jewel sparkles because it holds your hopes, joys and the promise of a bright tomorrow. Step into the glow of a home made for the life you've imagined.



Artistic impression for representation purpose only



THE RAREST JEWELS ARE FOUND IN PLACES OF GREAT PROMISE

DIRECT ENTRY EXIT FROM DWARKA EXPRESSWAY

Perfectly positioned in Sector 103 along the Dwarka Expressway, this address is primed for access, appreciation and admiration. A gem in every sense, it connects you effortlessly to IGI Airport, Diplomatic Enclave, top schools, hospitals and major business districts — all within minutes. With a direct entry/exit gate, your access to the world and to home is effortless. Surrounded by green expanses and fast-developing infrastructure, this address shines brighter with every passing day.

10 MINS* DRIVE FROM

- Diplomatic Enclave 2
- 18-Hole DDA Golf Course
- Delhi's Largest Transportation Hub

15 MINS* DRIVE FROM

- IICC
- Delhi Airport
- Medanta Hospital

20 MINS* DRIVE FROM

- Aerocity
- Emporio Mall
- Fortis Hospital

MAP NOT TO SCALE

PERFECTLY CURATED WITH PREMIUM PRIVILEGES



Grand Entrance

With 16 ft. ceilings and timeless design, the entrance is a true showstopper. An iconic arrival that reflects your refined lifestyle.



Wrap-Around Balconies

Enjoy sweeping views and seamless indoor-outdoor living. Sunrises, sunsets and skyline moments, all from your private perch.

12 Ft. Floor-to-Floor Height

We proudly set a new benchmark in refined design. Soaring 12-foot ceilings fill each home with light and openness, elevating daily living with a heightened sense of grandeur and space.



3X Car Parking Space

Generous 3X parking provides room for every need and every vehicle, blending effortless arrivals with unmatched convenience. We proudly set the standard for elevated living.



Exquisite Interiors

Every corner reflects thoughtful design, premium finishes and timeless elegance. Crafted for comfort, built to impress.



In-house Precision Engineering

Built by experts, not outsourced. Our in-house engineering team ensures meticulous craftsmanship, structural integrity and lasting quality, all under one uncompromised standard.

MULTIPLE ZONES OF MERRIMENT FOR NON-STOP LEISURE



All-Weather Indoor Heated Pool



Engaging Kids Zone



State-of-the-Art Gym



Multi-Cuisine Restaurants



Curated Wellness Zone



Expansive Sports Hub

MASTERFULLY PLANNED TO BRING DWARKA EXPRESSWAY RIGHT AT YOUR DOORSTEP



Note : Landscape Layout is subject to change

TOWER-RIO TYPICAL UNIT PLAN TYPE-1



LIVE LARGE WITH THOUGHTFULLY
DESIGNED SPACES



CARPET AREA : 1520.00 SQFT

APARTMENT AREA : 2067.00 SQFT

SUPER AREA : 2719.00 SQFT

NOTE: DIMENSIONS SHOWN ARE EXCLUDING OUTER WALLS AND INCLUDING PROPORTIONATE SHARE OF INTERNAL WALLS

Disclaimer: The position and/or location of each room changes because of architectural features. The overall layout may vary because of regulatory reasons or other reasons. Carefully read all the details shown in the plan which will be incorporated in the drawings. This unit layout and dimensions might have slight deviation to the actual. Ask your sales agent for the picture format details and typical floor plan. It is therefore recommended to verify the layout, size and type of your apartment before submission of application for allotment of apartment.

TOWER-MAGPIE TYPICAL UNIT PLAN TYPE-1



CARPET AREA : 1095.00 SQFT
APARTMENT AREA : 1461.00 SQFT
SUPER AREA : 2131.00 SQFT

NOTE: DIMENSIONS SHOWN ARE EXCLUDING OUTER WALLS AND INCLUDING PROPORTIONATE SHARE OF INTERNAL WALLS

Disclaimer: The window size/its location in room may change because of architectural features. The overall layout may vary because of statutory reasons to meet required. Carefully no structure are shown in the plan which will be incorporated in our structure. These plans show and apartment might have slight deviation in the layout, size and type and this picture format depicts only typical floor plan. It is therefore recommended to verify the layout, size and type of your apartment prior to a submission of application for allotment of Apartment.

TOWER-MAGPIE TYPICAL UNIT PLAN TYPE-2



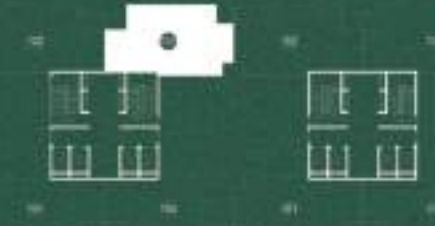
CARPET AREA : 1282.00 SQFT
APARTMENT AREA : 1795.00 SQFT
SUPER AREA : 2543.00 SQFT

NOTE: DIMENSIONS SHOWN ARE EXCLUDING OUTER WALLS AND INCLUDING PROPORTIONATE SHARE OF INTERNAL WALLS

Disclaimer: The window size/its location in room may change because of architectural features. The overall layout may vary because of statutory reasons to meet required. Carefully no structure are shown in the plan which will be incorporated in our structure. These plans show and apartment might have slight deviation in the layout, size and type and this picture format depicts only typical floor plan. It is therefore recommended to verify the layout, size and type of your apartment prior to a submission of application for allotment of Apartment.

TOWER-CONDOR/KESTREL

3 BHK TYPICAL MIDDLE UNIT PLAN



KEY PLAN
TOWER C1/C2 TYPICAL FLOOR
TOWER CONDOR | TOWER KESTREL



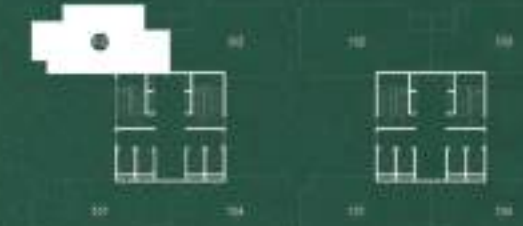
CARPET AREA : 1131.00 SQFT
APARTMENT AREA : 1515.00 SQFT
SUPER AREA : 2096.00 SQFT

NOTE: DIMENSIONS SHOWN ARE EXCLUDING OUTER WALLS AND INCLUDING PROPORTIONATE SHARE OF INTERNAL WALLS

Disclaimer: The window size/location is shown in north may change because of architectural features. The overall layout may vary because of statutory reasons to meet required. Carefully no columns are shown in the plan which will be incorporated in our structure. These room sizes and apartment might have slight deviation to the actual size and type and the plan as shown depicts only typical floor plan. It is therefore recommended to verify the layout, size and type of your apartment prior to submission of application for allotment of Apartment.

TOWER-CONDOR/KESTREL

3 BHK TYPICAL CORNER UNIT PLAN



KEY PLAN
TOWER C1/C2 TYPICAL FLOOR
TOWER CONDOR | TOWER KESTREL



CARPET AREA : 1128.00 SQFT
APARTMENT AREA : 1554.00 SQFT
SUPER AREA : 2139.00 SQFT

NOTE: DIMENSIONS SHOWN ARE EXCLUDING OUTER WALLS AND INCLUDING PROPORTIONATE SHARE OF INTERNAL WALLS

Disclaimer: The window size/location is shown in north may change because of architectural features. The overall layout may vary because of statutory reasons to meet required. Carefully no columns are shown in the plan which will be incorporated in our structure. These room sizes and apartment might have slight deviation to the actual size and type and the plan as shown depicts only typical floor plan. It is therefore recommended to verify the layout, size and type of your apartment prior to submission of application for allotment of Apartment.

FOOTPRINTS OF A JOURNEY COMPLETED

20+ YEARS OF LEGACY 8 PROJECTS DELIVERED 5000+ HAPPY CUSTOMERS

PRESENCE ACROSS 5 CITIES

JALANDHAR
GURUGRAM
DELHI
BHIWADI
GHAZIABAD

DELIVERED PROJECTS



ONGOING : CHINTAMANIS | NORTH AVENUE



UPCOMING PROJECTS

PHASE 2 CHINTAMANIS | PHASE 3 CHINTAMANIS

CERTIFIED FOR A GREENER TOMORROW



IGBC Platinum Rating Pre-certification



GRIHA Pre-certification



IIT Roorkee Certified

RESPONSIBLY SOURCED CONSCIOUSLY CRAFTED

1. ZERO WATER WASTE

100% wastewater is treated and reused for flushing and landscaping

2. SOLAR-DRIVEN EFFICIENCY

Over half of common area lighting is powered by rooftop solar panels

3. SMART WATER FIXTURES

Low-flow taps and dual-flush cisterns cut water use by over 30% annually

4. RAINWATER HARVESTING

Advanced systems recharge groundwater and support on-site use

5. ORGANIC WASTE REUSE

All organic waste is processed into compost for landscape use

6. EV CHARGING READY

Dedicated electric vehicle charging points for sustainable mobility

7. HEAT-REFLECTIVE ROOF TILES

Reduces heat gain, enhancing comfort and energy savings

8. WATER-EFFICIENT CONSTRUCTION

Gypsum plaster and curing compounds save over 40% potable water

9. HEALTHY INTERIORS

Low-toxin paints and eco materials ensure cleaner indoor air

10. LOCAL & CLIMATE-SMART DESIGN

Built using regional materials and passive cooling strategies



Chintamanis

JEWEL OF THE GODS

Promoter Name: AVIANA GREEN ESTATES PVT. LTD.

RERA Number: RC/REP/HARERA/GGM/675/407/2023/19 | www.haryanarera.gov.in

CIN Number: U70109DL2016PTC306330

Registered Office: 15, 2nd Floor, MGF Megacity Mall, M.G. Road, Gurugram, Haryana-122002

Site Address: Sector 103, Dwarka Expressway, Gurugram-122006

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